



Infill Plats & Site Plan Lite Part 2: Stakeholder Update Meeting

January 23, 2025

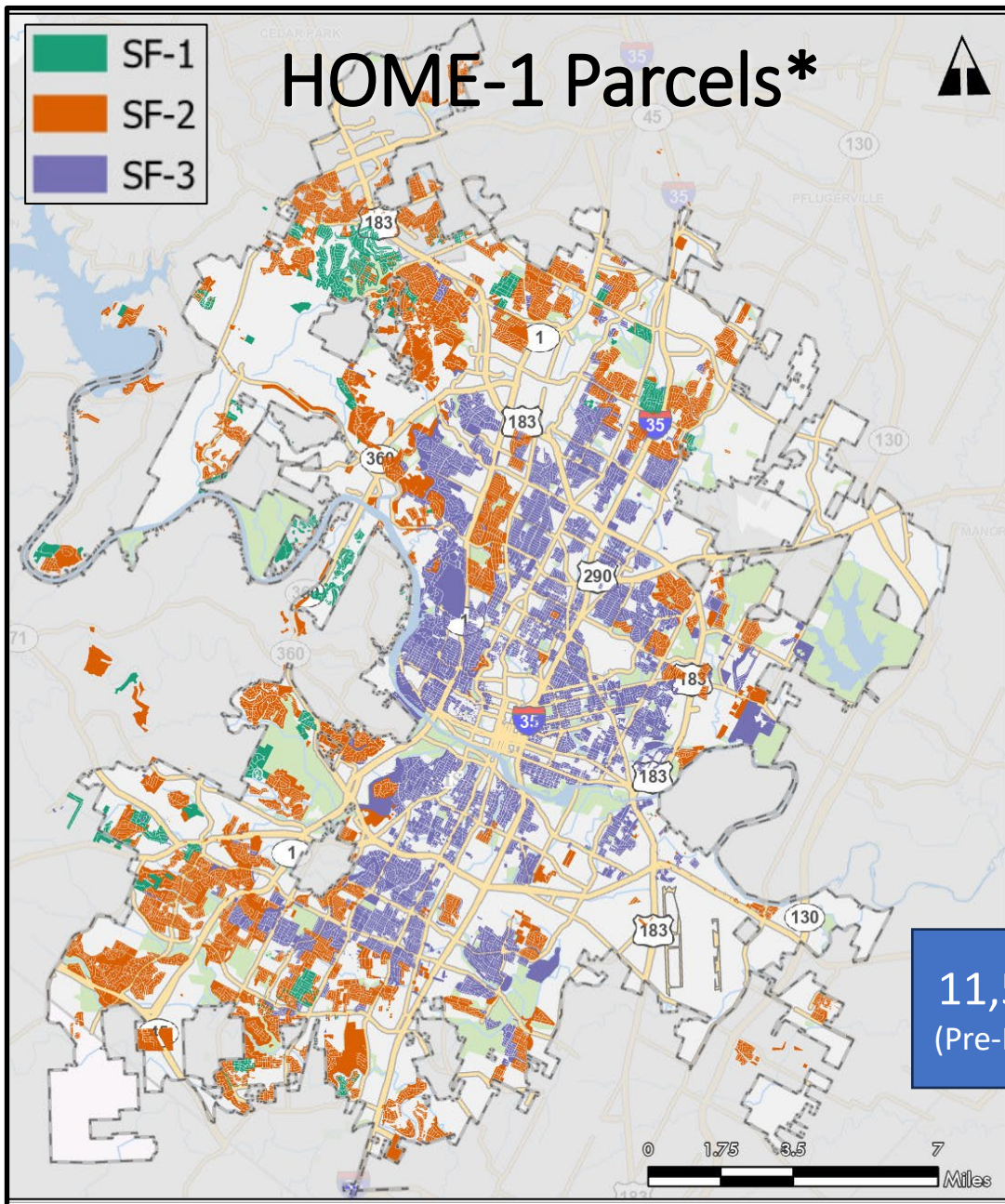
Presentation Summary

- [Infill plat](#) and [site plan lite](#) ordinance goals:
 - Streamline “non-zoning” regulations to facilitate infill housing, housing choices
 - Balance impacts on water quality and drainage (among other elements)
 - Focus of current ordinance is on drainage code
- Where we are now:
 - Planning Commission ordinance
 - Revised staff ordinance
 - Council hearing on Feb. 13
 - Future: address additional non-zoning permitting elements
- Describe Infill Plat and Site Plan Lite proposals, compare peer cities
- Discuss among stakeholder participants





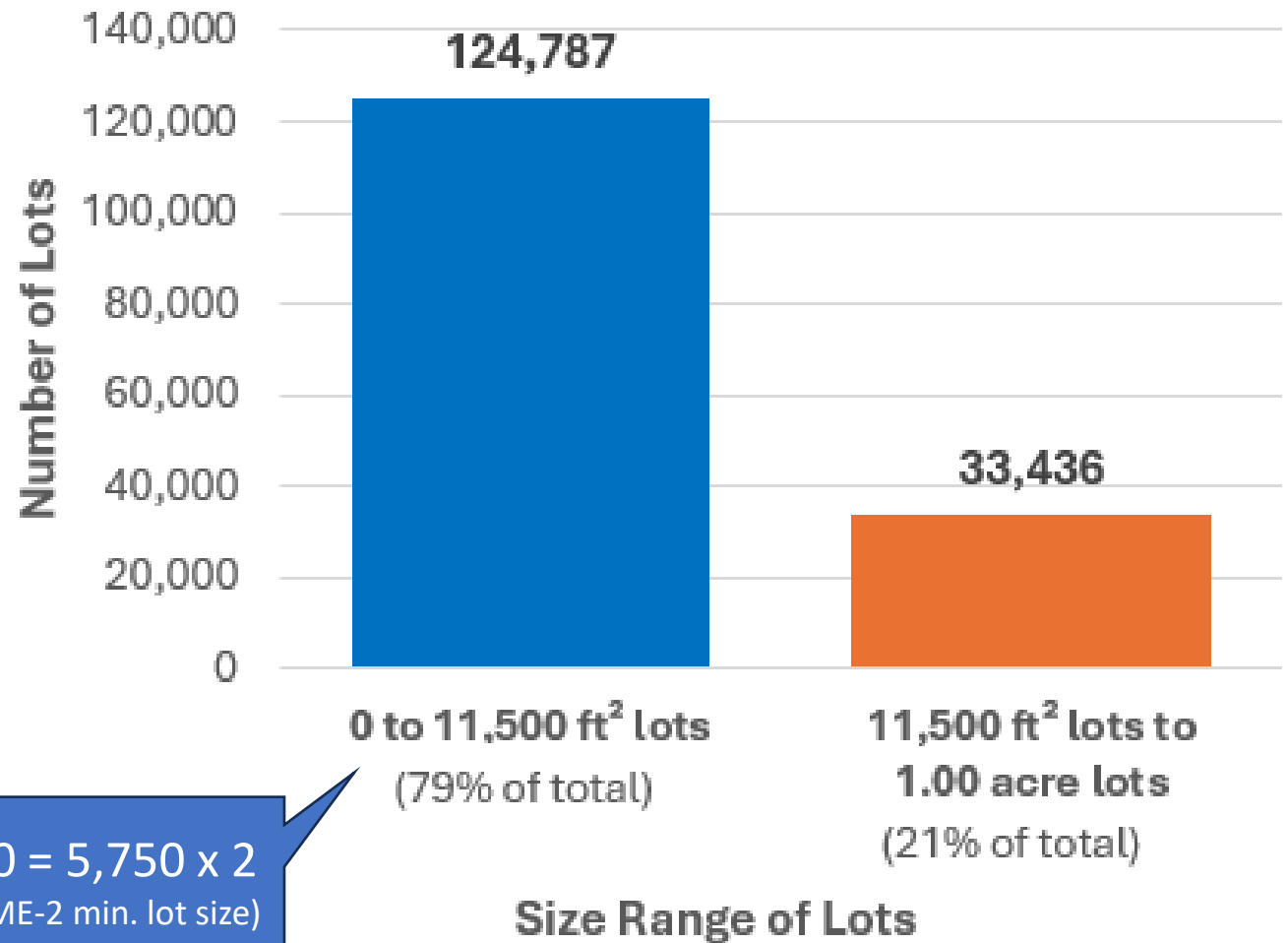
Infill Plats **(Small-scaled subdivisions)**



* All parcels under 1-acre zoned SF-1, SF-2, and SF-3

11,500 = 5,750 x 2
(Pre-HOME-2 min. lot size)

HOME Lot Count by Lot Size



Note: Not all lots will have the dimensions and site conditions to support infill subdivision

Staff Proposal: Infill Plats: Lot no greater than 11,500 sq. feet

HOME-1 Project
(building permit)

HOME-2 Project
(subdivision with lots lines)

STAFF PROPOSAL

- ✓ Same max. footprint as building permit/HOME-1
- ✓ Not possible to subdivide a tract smaller than 11,500 sq. feet prior to HOME-2
- ✓ No drainage studies or on-site detention ponds
- ✓ No difference in drainage requirements from surrounding 1-4 unit housing on single lots

60,000+ lots eligible*
for this option

* Not all sites have conditions to achieve

Planning Commission Infill Plats: Lot no greater than 11,500 sq. feet

HOME-1 Project
(building permit)

HOME-2 Project
(subdivision with lots lines)

PLANNING COMMISSION PROPOSAL

- ✓ If a project remains within zoning impervious cover limits, no drainage requirements
- ✓ For projects exceeding IC zoning limits, require to follow original staff drainage requirements
- ✓ Consider Dallas affidavit system for self-certification

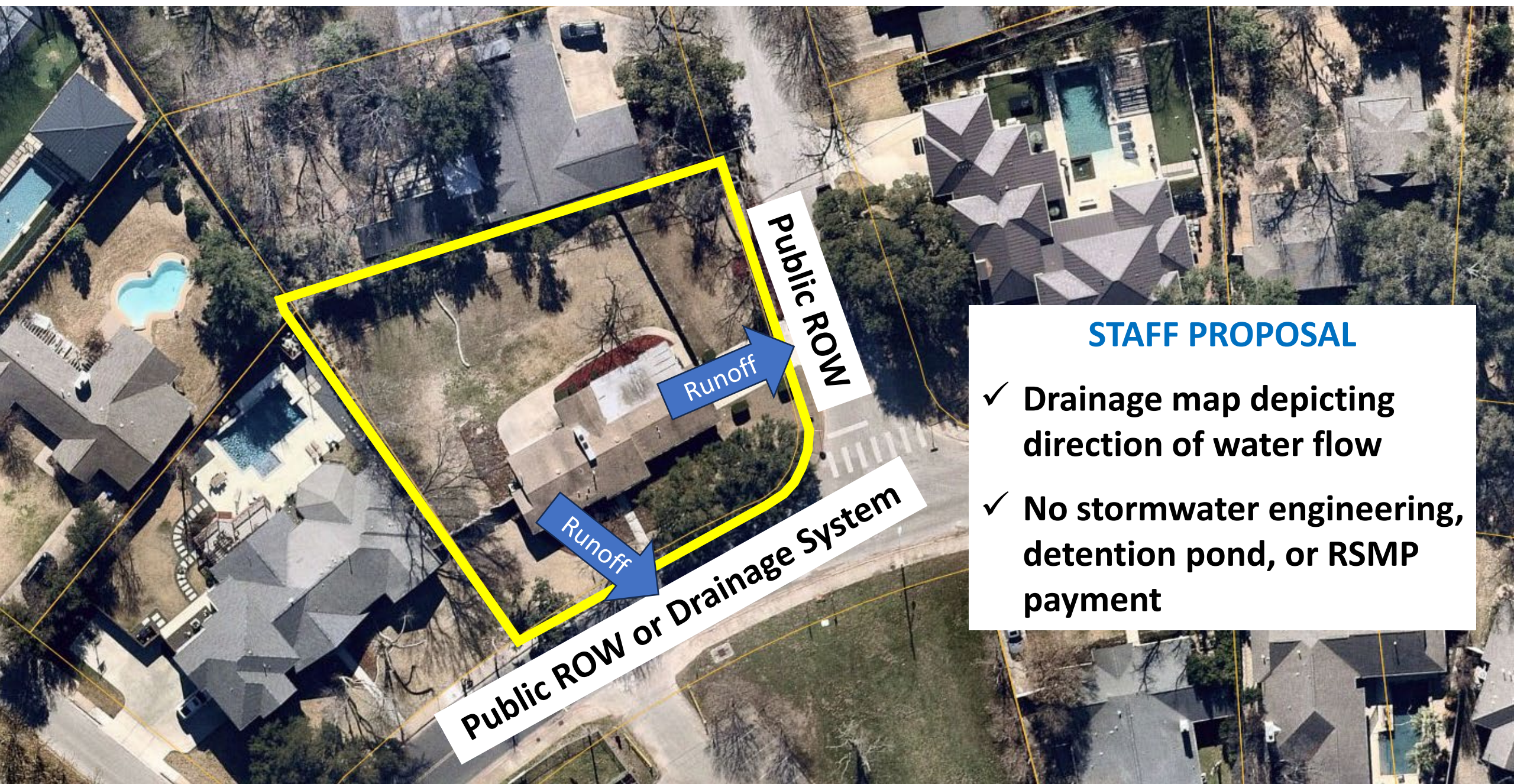
Infill Plats: 11,500 sq. ft. to 1-acre* lot infill projects



Large enough scale to warrant additional drainage oversight. A detention alternative is already an option for qualifying infill residential projects up to 1-acre max.

*** PLANNING COMMISSION PROPOSAL = Up to 1.5 acres**

Staff Proposal Scenario 1: Natural surface flows to road right-of-way or drainage system



STAFF PROPOSAL

- ✓ Drainage map depicting direction of water flow
- ✓ No stormwater engineering, detention pond, or RSMP payment

Staff Proposal Scenario 2: Lot with surface flows needing to be graded to road/drainage system



Drains to neighbors

Runoff

Runoff

Staff Proposal Scenario 2: Lot with surface flows needing to be graded to road/drainage system

Note: The entire site need not be regraded. Just enough to ensure no additional peak flows exit to neighbors.

Runoff Regraded

Public ROW or Drainage System

STAFF PROPOSAL

- ✓ Engineering required
- ~~✓ RSMP payment~~
- ✓ Grading review by ~~WPD~~ ^{DSD}

Staff Proposal Scenario 3: Lot with surface flows to neighboring properties, build detention

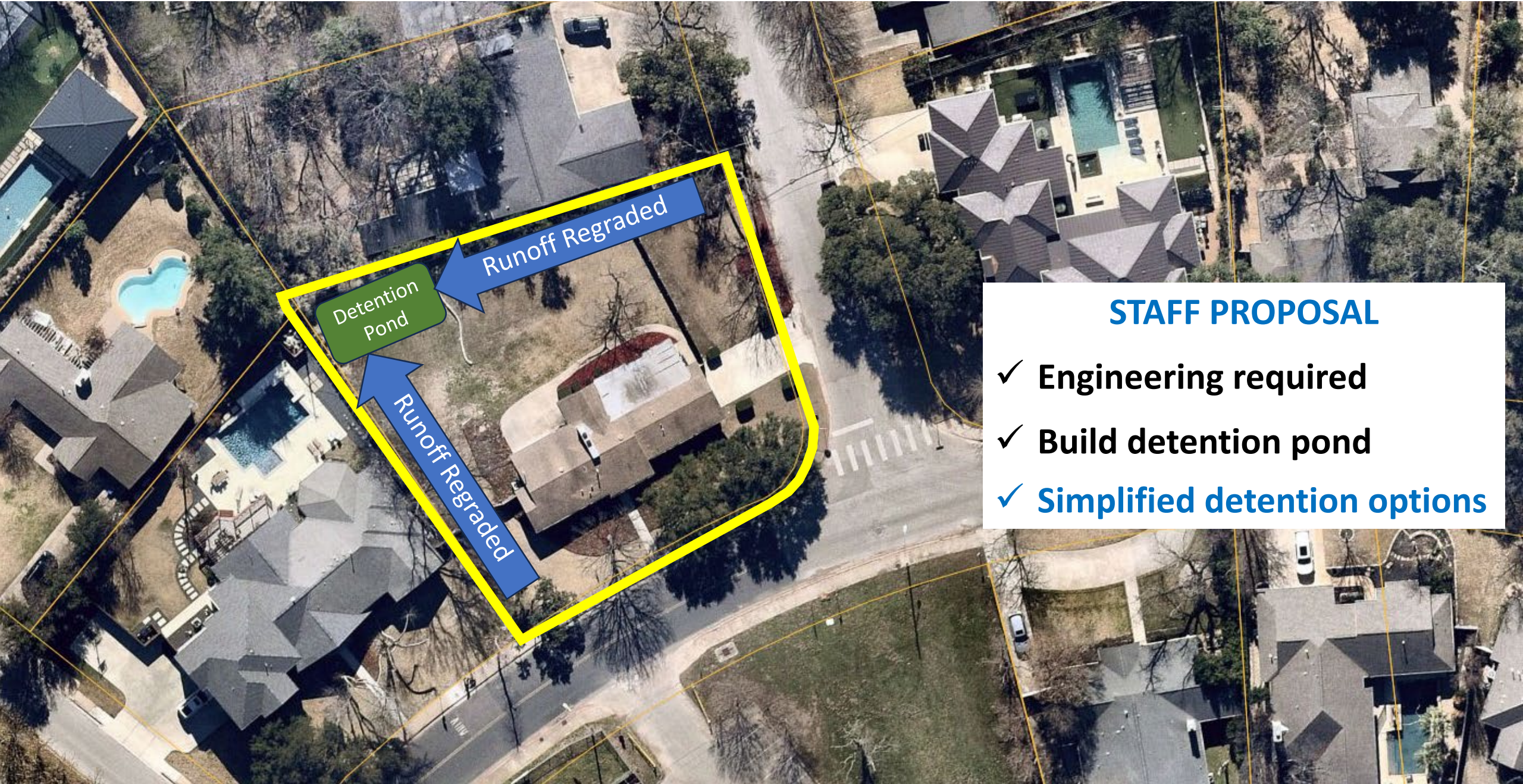


Drains to neighbors

Runoff

Runoff

Staff Proposal Scenario 3: Lot with surface flows to neighboring properties, build detention



STAFF PROPOSAL

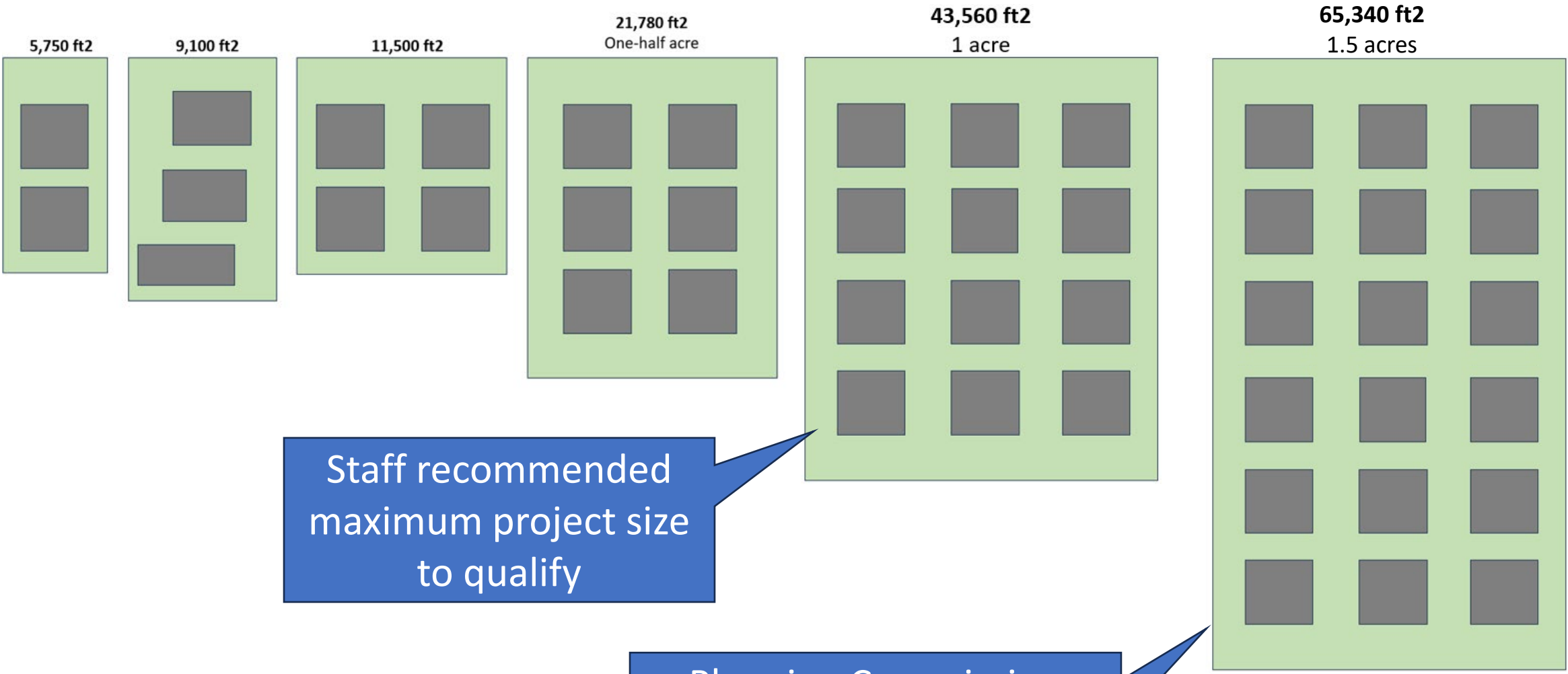
- ✓ Engineering required
- ✓ Build detention pond
- ✓ Simplified detention options

Planning Commission: Scenarios 1, 2 & 3: Any lot up to 1.5 acres in size



PLANNING COMMISSION PROPOSAL

- ✓ If a project remains within zoning impervious cover limits, no drainage requirements
- ✓ For projects exceeding IC zoning limits, follow original staff drainage requirements
- ✓ Consider Dallas affidavit system for self-certification
- ✓ 1.5 acres = 50% larger project max. than staff recommendation



Staff recommended maximum project size to qualify

Planning Commission recommended maximum project size to qualify

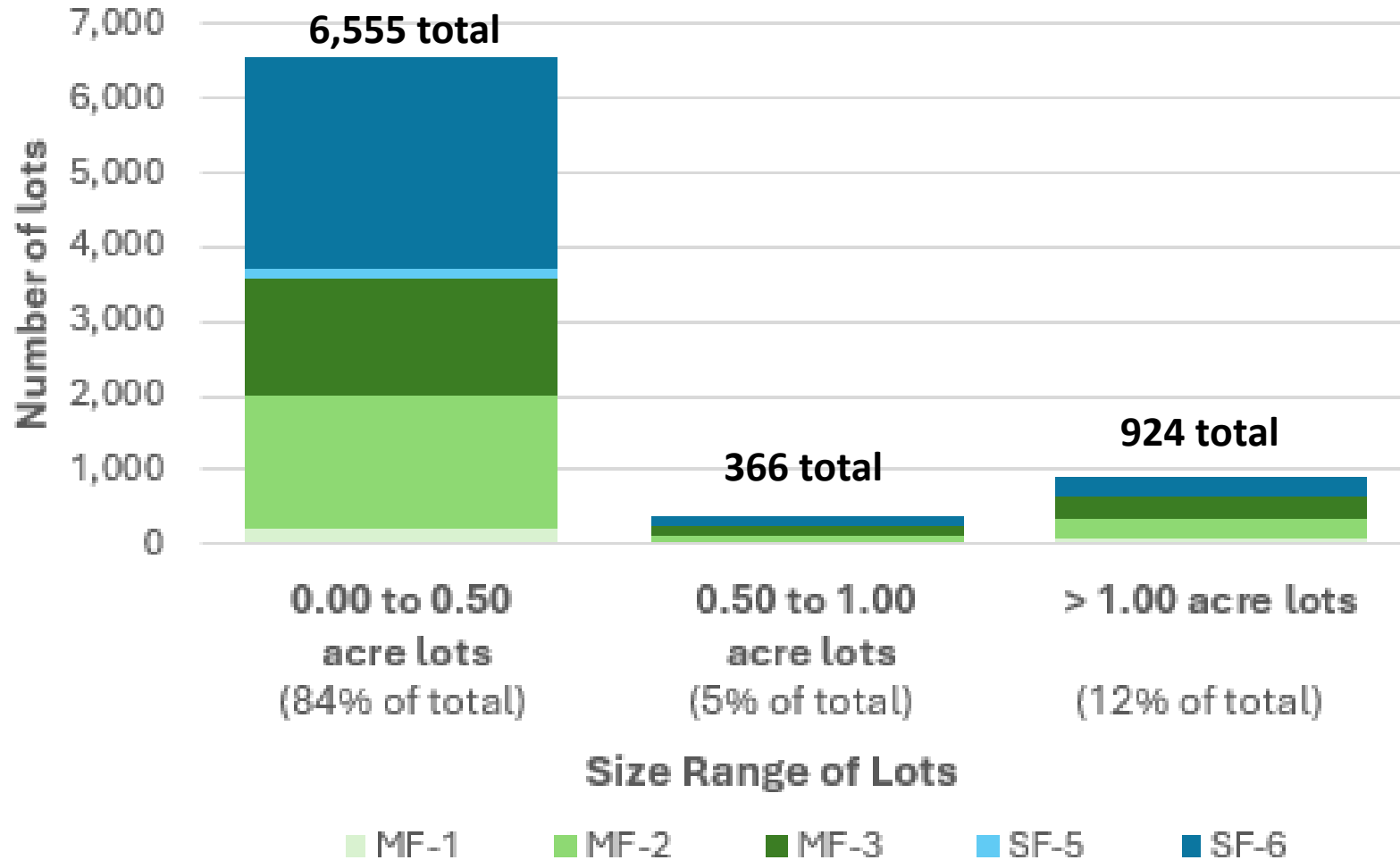




Site Plan Lite, Part 2

(Small-scaled multifamily)

Site Plan Lite Count by Lot Size

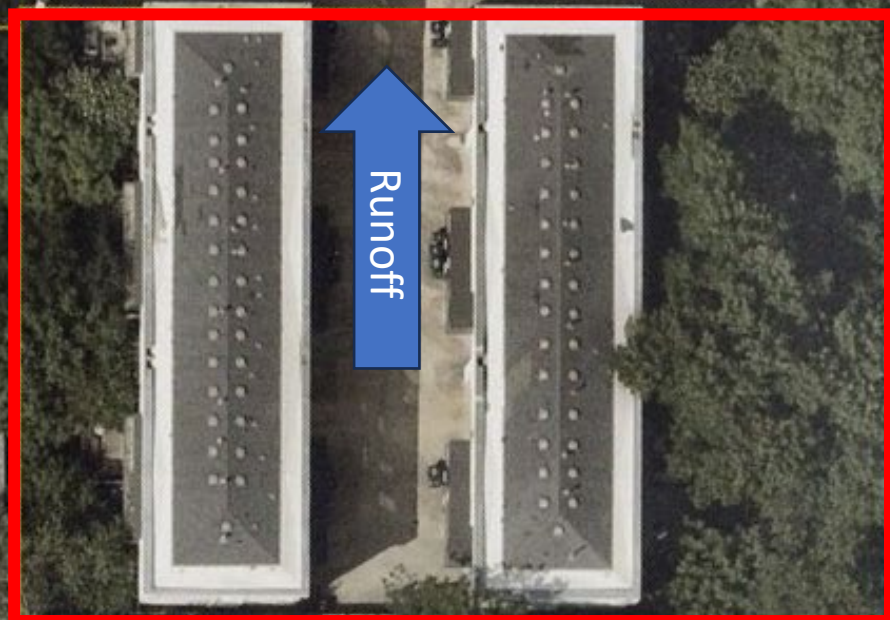


Note: Not all lots will have the dimensions and site conditions to support infill development



Staff: Site Plan Lite Scenario 1: Lot with Natural Surface Flows to Road/Drainage System

Public ROW or Drainage System

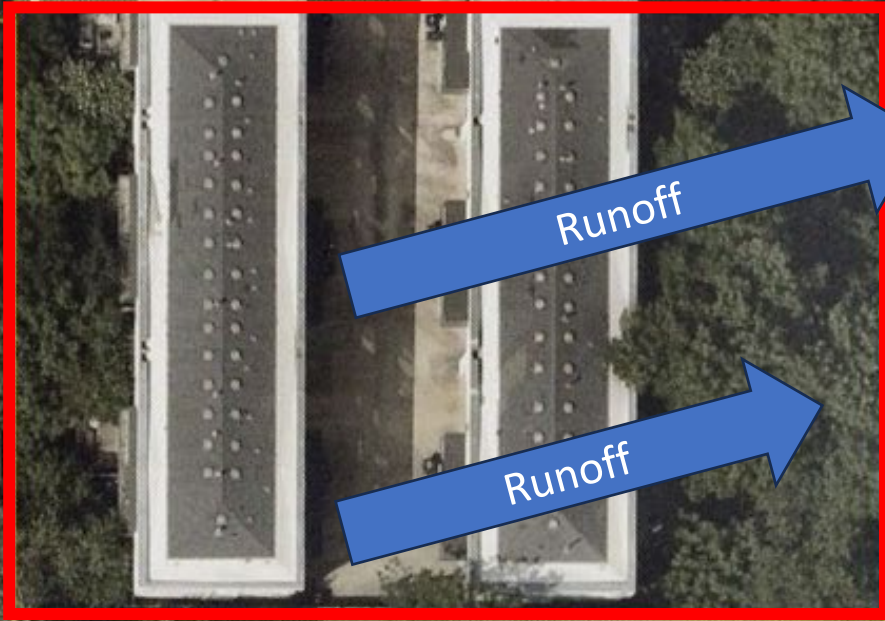


STAFF PROPOSAL

- ✓ Drainage map depicting direction of water flow
- ✓ No engineering or RSMP payment

Staff: Site Plan Lite Scenario 2: Lot with Surface Flows Needing to be Graded to Road/Drainage System

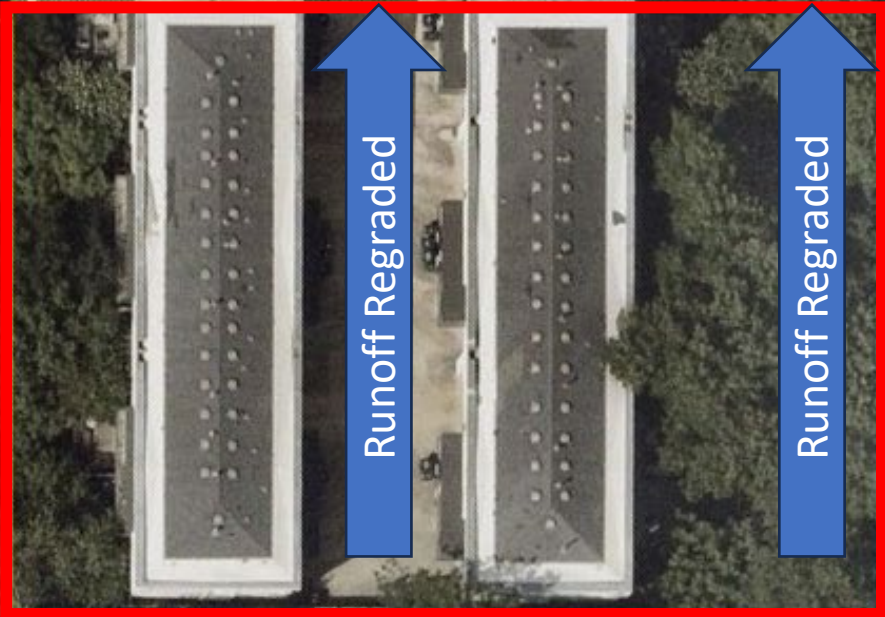
Public ROW or Drainage System



Drains to neighbors

Staff: Site Plan Lite Scenario 2: Lot with Surface Flows Needing to be Graded to Road/Drainage System

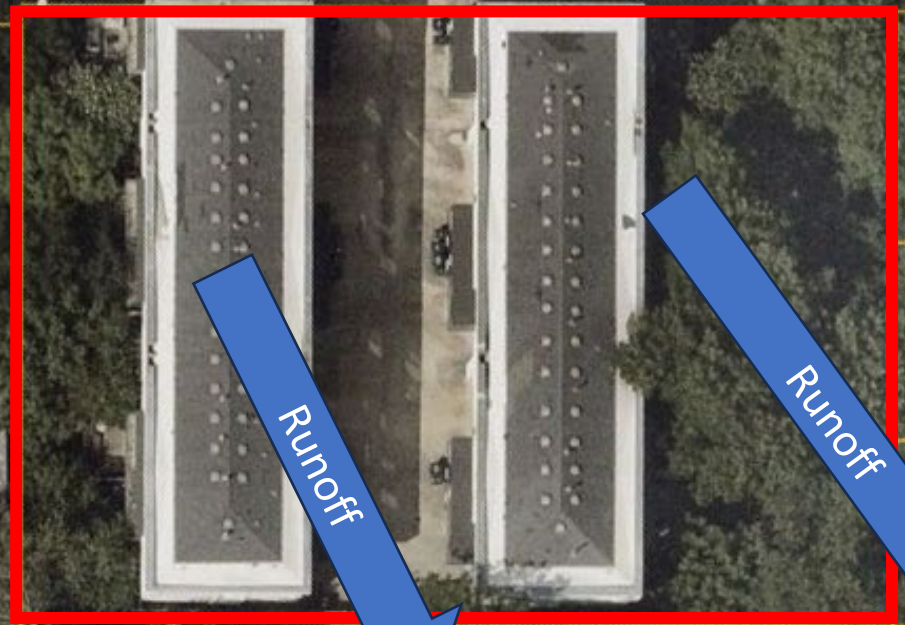
Public ROW or Drainage System



- ### STAFF PROPOSAL
- ✓ Engineering required
 - ~~✓ RSMP payment~~
 - ✓ Grading review by ~~WPD~~ ^{DSD}

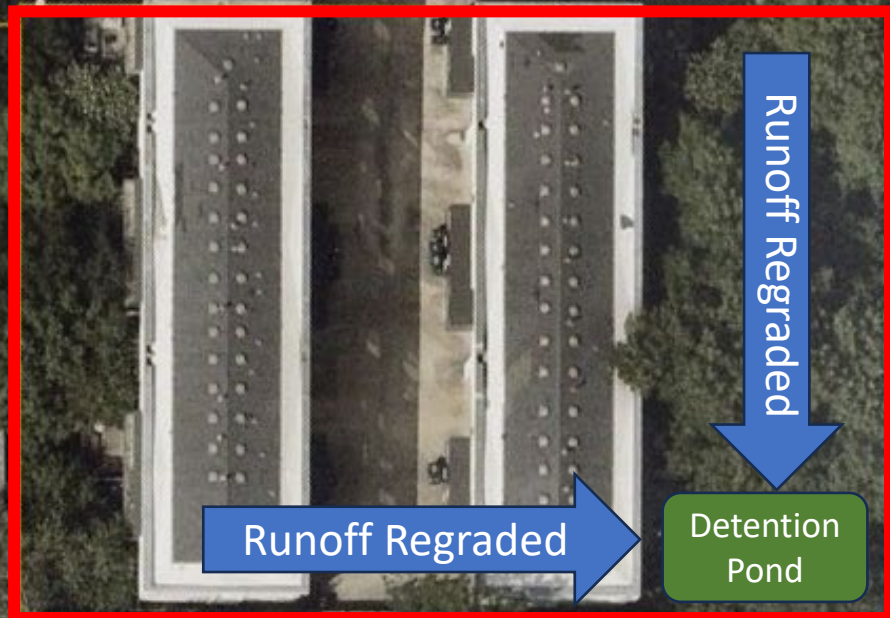
Staff: Site Plan Lite Scenario 3: Lot with Surface Flows to Neighboring Properties, Must Build Detention Pond

Public ROW or Drainage System



Drains to neighbors

Staff: Site Plan Lite Scenario 3: Lot with Surface Flows to Neighboring Properties, Must Build Detention Pond



STAFF PROPOSAL

- ✓ Engineering required
- ✓ Build detention pond
- ✓ Simplified detention options

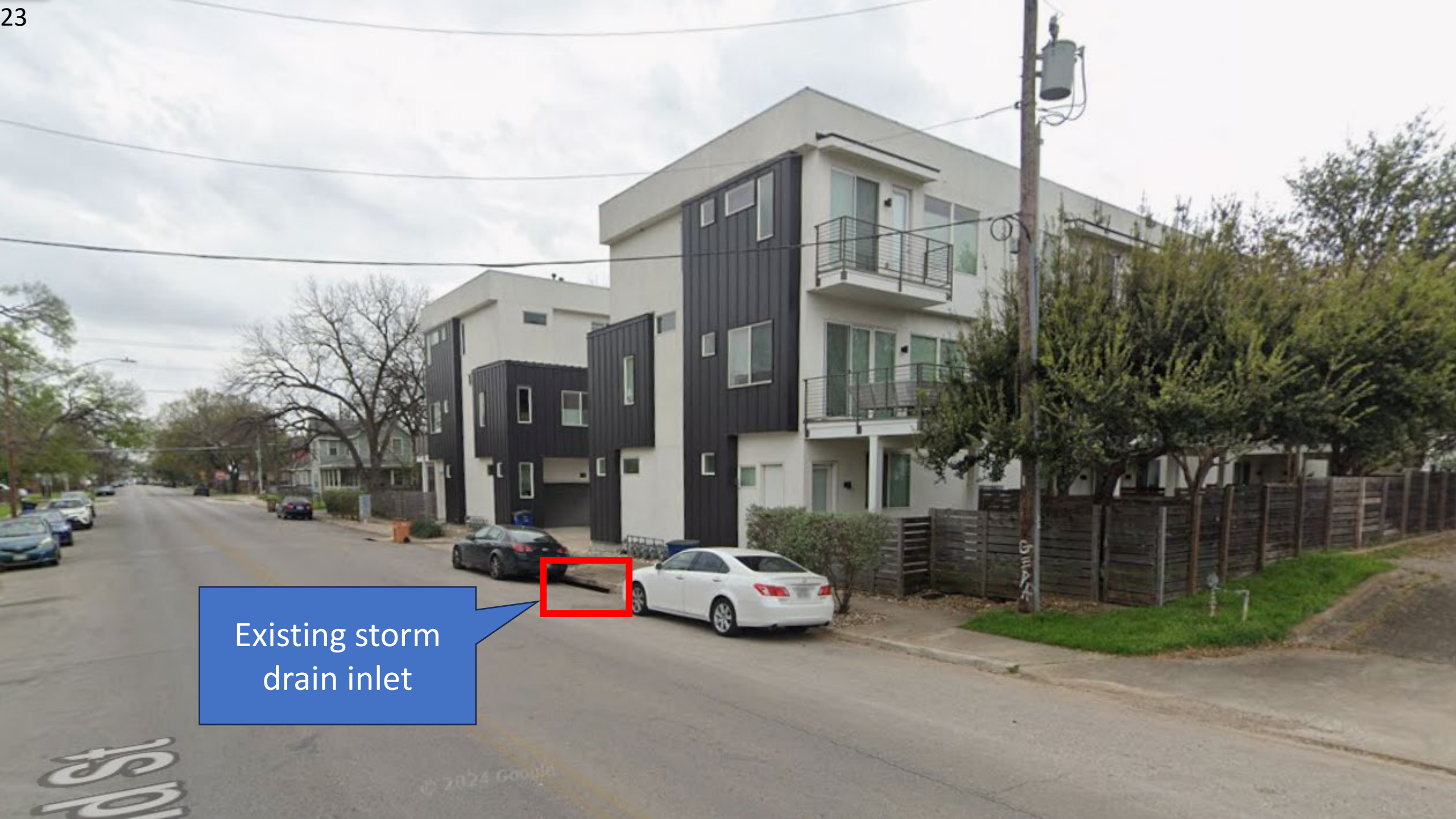
Drains to detention pond

PC: Scenarios 1, 2 & 3: Any lot up to 1.5 acres in size



PLANNING COMMISSION PROPOSAL

- ✓ If a project remains within zoning impervious cover limits, no drainage requirements
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- ✓ Consider Dallas affidavit system for self-certification
- ✓ 1.5 acres = 50% larger project max. than staff recommendation



Existing storm
drain inlet

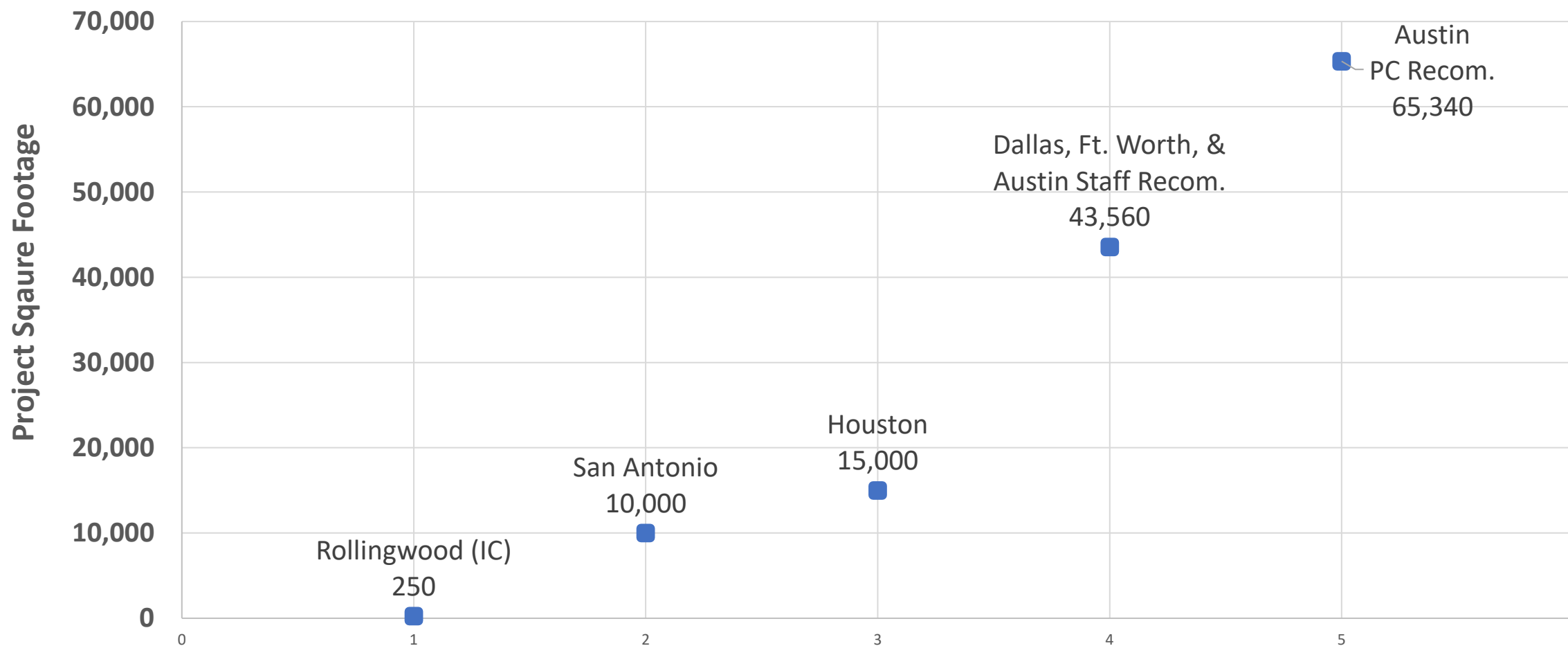
d St
as
e Street View
See more dates

Protected trees
remain protected



City	Detention and Drainage Requirements for Site Plans and Subdivisions
San Antonio	Developments >10,000 ft² in area (0.23 acre) must provide detention or payment-in-lieu; earlier code for >20,000 ft ² was changed to address drainage concerns. Typically 4-lot min. for detention. May propose Low-Impact Development solutions instead of std. detention. Projects of all sizes submit engineered drainage plans .
Dallas	Developments >43,560 ft² (1-acre) and adding more than 5,000 sq. ft. impervious cover must provide detention. Site plans and subdivisions of all sizes must submit engineered drainage plans . Lot-to-lot drainage regulated. Detention required to prevent lot-to-lot flows for smaller projects. (Applicant-signed affidavits allowed, but only for single-family building permits.)
Ft. Worth	Developments >43,560 ft² (1-acre) must provide detention. Smaller projects must drain to street rights-of-way.
Houston	Developments >15,000 ft² (0.344 acres) must provide detention.
Austin	Proposed: Developments >43,560 ft² (1-acre) must provide detention. Infill projects ≤ 1 acre only provide detention to manage lot-to-lot drainage (like Dallas and San Antonio); subdivisions $< 11,500$ ft ² exempt. Current code: no lower project size limit for detention.

Min. Project Size for Required Flood Detention



Ordinance Comparison Table

Development Type and Size	Current Code & Criteria	Original Staff Recommendation	Revised Staff Recommendation	Planning Commission
Residential Subdivision no greater than 11,500 ft ²	Meet DCM 1.2.2.G with RSMP payment else provide onsite detention	No requirements (Note: means over 60,000 lots now treated like a Building Permit)	No requirements	<u>No drainage requirements</u> if under maximum zoning impervious cover; <u>Apply to projects up to 1.5 acres in size;</u> <u>Consider Dallas affidavit approach (no staff review);</u> Approve in 90 days; Small-project status to 1.5 acres
Residential Subdivision no greater than 1 acre	Meet DCM 1.2.2.G with RSMP payment else provide onsite detention	If drain to ROW etc., simple submittal/no engineer; if grade to ROW or drainage system, DCM 1.2.2.G. by engineer, WPD review & RSMP payment; else onsite detention	Same, but now no RSMP review or payment (avg. \$33K) and DSD review; 90-day approval (if application meets code); offer simplified detention options; small-project status to 1.5 acres	
Site Plan Lite no greater than ½ acre	Same as above	Same as above	Same as above	
Site Plan Lite no greater than 1 acre	Not allowed (follow full code)	DCM 1.2.2.G./RSMP payment if can grade/ drain; else detention; capped at ½ acre	Same as above; capped at 1 acre; small-project status to 1.5 ac.	

*DCM = Drainage Criteria Manual; DSD = Development Services Department; ROW = Right-of-Way; RSMP = Regional Stormwater Management Program; WPD = Watershed Protection Department

Recap and Discussion

- Council goal
 - Streamline “non-zoning” regulations to facilitate infill housing, housing choices
 - Balance impacts on water quality and drainage (among other elements)
 - Focus of current ordinance is on drainage code
- Where we are now:
 - Planning Commission ordinance
 - Revised staff ordinance
 - Council hearing on Feb. 13
 - Future: address additional non-zoning permitting elements
- Described Infill Plat and Site Plan Lite proposals, compared peer cities
- Stakeholder discussion



An aerial photograph of a city skyline. In the foreground, a river flows through a park-like area with trees showing autumn foliage. A bridge with graffiti on its structure spans the river. In the background, a dense urban skyline features several prominent skyscrapers under a clear blue sky. A semi-transparent white banner is overlaid across the middle of the image, containing the text 'Wrap up / Discussion' in a bold, dark blue font.

Wrap up / Discussion